

Deck Information

Zoning Information:

(See Zoning Code for more information)

- If the deck is less than **30" above grade**, there are no setbacks governing the location of the deck except for platted easements.
- Impervious Surface Coverage is limited to 50% of lot area (all areas including house, walks, drive, garage, patio/deck, etc.). The fee for new impervious surface (net increase from existing) is either \$1.60, \$.80 or \$0 per square foot based upon the location of the property in the Village. For more information, contact the Engineering Division, 847 664 4056.
- If the deck is **30" or more above grade**, the following building setbacks apply:

Zoning District	Front Setback & Corner Side (Or Average of Front Setbacks, if required)	Side Setback	Rear Setback
R-1	60'	40'	40'
R-2	40'	12'	40'
R-3	35'	10'	40'
R-4	30'	9'	40'
R-5	25'	6'	40'

Construction Information

Deck design information noted under "Framing" below may be found in Chapter 5 of the 2018 edition of the International Residential Code (2018 IRC)

Design Loads:

- Structure to meet code required minimum live load of 40lbs/sf.
- Guardrails to withstand a 200lb load applied at any point along the top rail.

Foundation (indicate on the drawings -see example drawings):

- 8" (minimum) diameter concrete piers (42" below grade minimum) **or as required for loads imposed.**
- Concrete piers to support stair stringers.

Framing (indicate on the drawings - see example drawings):

- Floor joist size and span (based on the grade and species of the lumber to be used).
- Deck structure to be constructed of preservative treated (decay resistant) lumber.
- Preservative treated ledger board (2 x joist size) attached to the structure of the building, not to brick veneer or siding/sheathing only. Indicate bolt size and spacing of ledger attachment.
- Flashing under siding and over ledger board or as code requires.
- Floor joist bridging at 8' maximum on center.
- Mechanical attachment of beams to posts and posts to foundations (using post bases) to prevent vertical uplift.

Stairs and Handrails / Guardrails (indicate on the drawings):

- When a deck is more than 30" above grade, a guardrail 36" high (minimum) is required.
- Required guardrails shall have not more than 4 inches between balusters.
- Handrail(s) are required on stairs with 4 or more risers (if total rise is 30" or more) and shall be 34" to 38" measured vertically above the edge of the nosing.
- Stair risers shall be 7 3/4" maximum. Open risers that do not allow the passage of a 4" diameter sphere are permitted.
- Stair treads shall be 10" minimum (nosing to nosing).
- Stair nosings shall be 1" minimum or as code allows.
- Stair width shall be 36" minimum.

Electrical / Plumbing / Gas (indicate on the drawings - if applicable):

- Electrical and/or plumbing locations.
- Any proposed gas fueled appliances (ie. gas grill, firepit, etc.) must be shown. See *Gas Pipe Installation Sheet* (website) for more information.

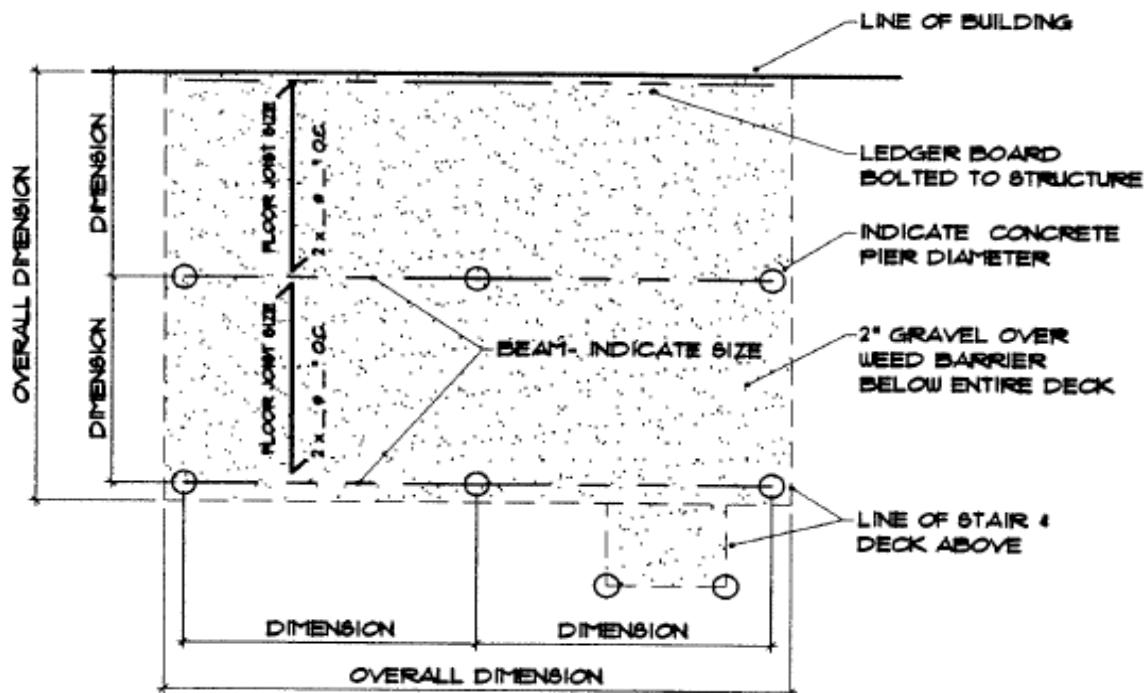
Additional Notes:

- Do not block any basement escape windows; maintain 36" high clearance for existing escape routes from lower level openings.
- Do not reduce light and ventilation of any existing basement or lower level spaces.
- Provide access to electric meter (if applicable)

*Information contained herein is for general purposes only.
Additional code requirements may be necessary based on project circumstances.*

Construction Drawing Examples

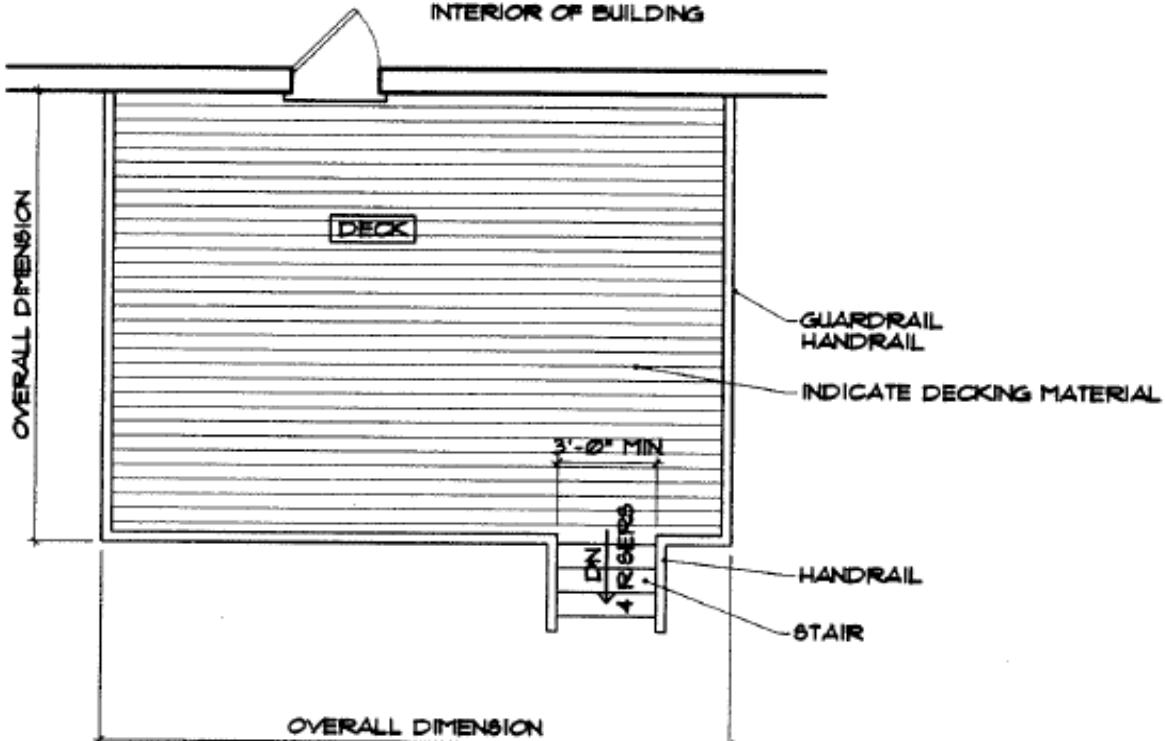
The following drawing *examples* are to help you prepare drawings for permit application submittal.



DECK FOUNDATION / FRAMING PLAN 

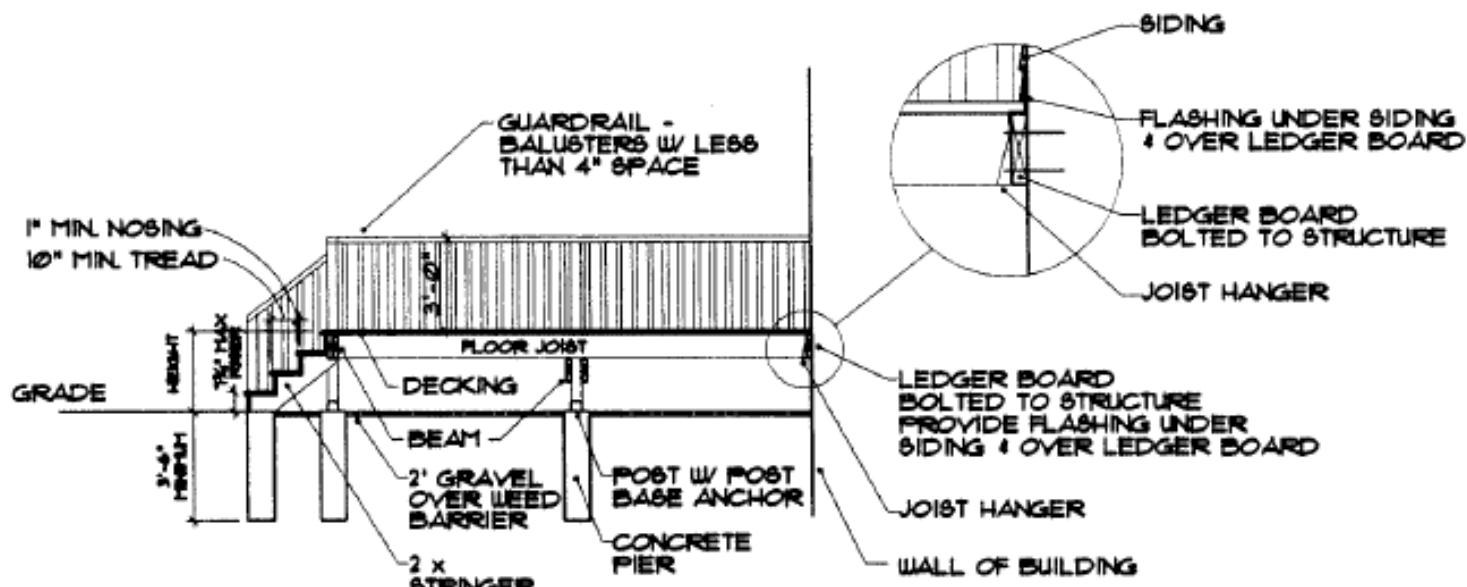
SCALE: INDICATE DRAWING SCALE

INTERIOR OF BUILDING



DECK PLAN

SCALE: INDICATE DRAWING SCALE



DECK SECTION

SCALE: INDICATE DRAWING SCALE